

Summary



Next Level Home Inspections

**1715 Lichens Rd.
Montague, CA 96064
530.322.9972**

Customer
Jendy Lea

Address
10430 Little Bogus Creek
Montague CA 96064

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roof

1.6 Chimney

Correction Recommended

(1) We are not certified chimney professionals. Only a level two inspection performed by a CSIA (Chimney Safety Institute of America) certified chimney sweep can determine the condition of the flue and whether the fireplace is safe to use.

We recommend a cleaning and level two inspection of the fireplaces and chimney flues before closing. Clean chimneys don't catch on fire. More information about fireplaces and chimneys can be obtained at www.csia.com.

(2) The chimney appeared to be installed correctly and functioning properly at the time of inspection there was very little creosote buildup inside of the chimney flue as well

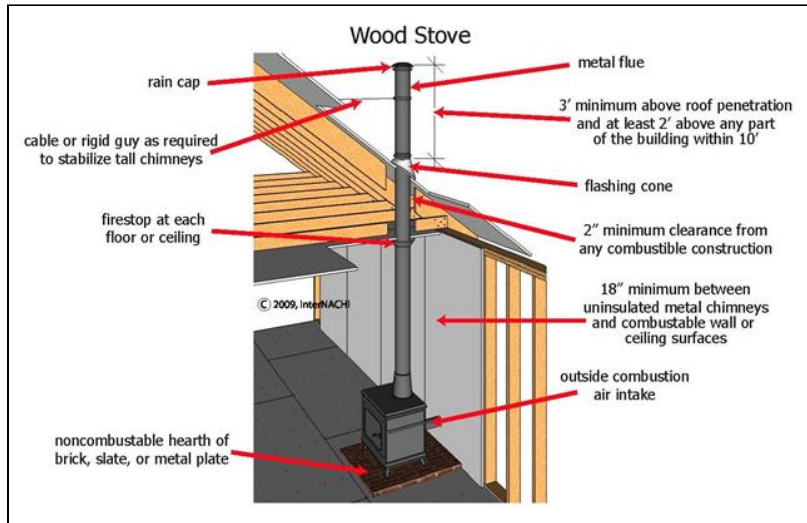


6. Heating / Cooling

6.2 Woodstove

Correction Recommended

(1) Soot was visible on the outside of the stove pipe connection. There should also be a fire stop at each point the stove pipe passes through a wall or ceiling with a minimum of 2 inch clearance around the pipe from combustible surfaces. Recommend further evaluation by a licensed professional.



(2) Stove pipe appeared to be closer than the minimum clearance requirements to combustible surfaces. Recommend further evaluation by a licensed professional.



7. Insulation / Ventilation

7.3 Crawlspace

Correction Recommended

There is moisture buildup in the crawlspace due to surface drainage.

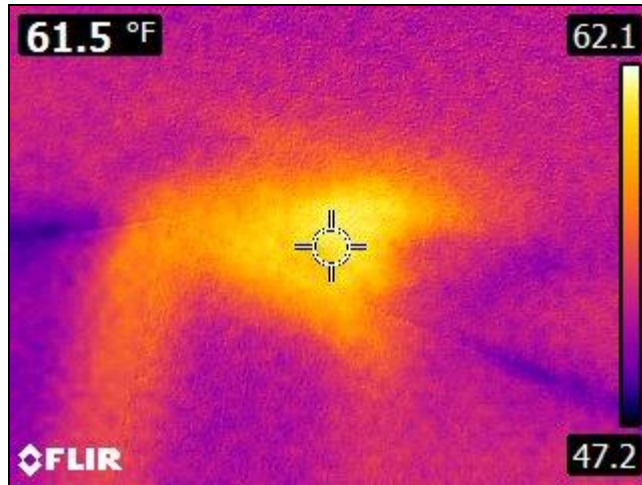


9. Upstairs Bathroom

9.3 Tub / Shower

Correction Recommended

There was a leak detected under the upstairs bathroom with an infrared camera and confirmed with a moisture meter. Because of the cooler temperatures of the walls, we ran hot water which can be seen in the infrared picture. Recommend correction by a licensed plumber.



14. Interiors

14.4 Railings / Balconies

Correction Recommended

Railing was an inconsistent height. It was too low at the top of the stairs. Recommend correction by a licensed contractor.



14.10 Carbon Monoxide Detectors

Correction Recommended

Recommend installing carbon monoxide detectors on both floors because of the wood stove.

16. Garage

16.5 Occupant Door (from garage to inside of home)

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Correction Recommended

The self closing hinges did not function properly during the inspection. Recommend having them replaced.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Don Allen / AJ Cross



Inspection Report

Next Level Home Inspections

Don Allen / AJ Cross
1715 Lichens Rd.
Montague, CA 96064
530.322.9972

REPORT PREPARED FOR:

Jendy Lea

INSPECTED PROPERTY ADDRESS:

10430 Little Bogus Creek
Montague CA 96064

Year Built:

2007

Temperature:

38

Weather:

Rainy



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WHAT REALLY MATTERS IN A HOME INSPECTION

Congratulations on buying your new home.

The process can be stressful. A home inspection is supposed to give you peace of mind, but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do?

Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter fall into 4 categories:

1. Major defects. An example of this would be a significant structural failure.
2. Things that may lead to major defects. A small water leak coming from a piece of roof flashing, for example.
3. Things that may hinder your ability to finance, legally occupy, or insure the home.
4. Safety hazards. Such as lack of GFCI protection.

Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect.

Keep things in perspective. Don't kill your deal over things that don't matter. It is inappropriate to demand that a seller address deferred maintenance, conditions already listed on the seller's disclosure, or nit-picky items.

INTRODUCTION, SCOPE, DEFINITIONS AND COMPLIANCE STATEMENT

INTRODUCTION: The following numbered and attached pages are your home inspection report. The report includes pictures, information and recommendations. This inspection was performed in accordance with the current InterNACHI Standards of Practice and Code of Ethics. The standards contain certain and very important limitations, exceptions and exclusions to the inspection. A copy is available prior to, during and after the inspection and is part of the report.

SCOPE: This inspection complies and reflects with the State of California's Business and Professions Code, Section 7195. A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of the visible, readily accessible and apparent condition of the structure and its components on this day. The results of this inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection.

No warranty, guarantee or insurance by Next Level Home Inspections is expressed or implied. This report does not include inspection for wood destroying insects, mold, lead, radon or asbestos. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated.

The person conducting your inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts.

You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including, but not limited to, HVAC professionals, electricians, engineers or roofers.

DEFINITIONS: The following phrases have been used in the report to identify systems or components that need your attention prior to closing or purchasing the property.

MONITORING RECOMMENDED: Denotes a system or component needing further evaluation and/or close observation in order to determine if correction is needed.

IMPROVEMENT RECOMMENDED: Denotes a system or component that should receive normal maintenance, repair or adjustment in order to function properly.

CORRECTION RECOMMENDED: Denotes a system or component that is significantly deficient or at the end of its service life and needs corrective action by a professional. We recommend the professional making any corrective action to inspect the property further (further evaluation) in order to discover and repair related problems that were not identified in the report. All corrections and evaluations must be made prior to closing or purchasing the property.

CALIFORNIA HOME INSPECTOR COMPLIANCE STATEMENT:

I represent that I am a full member in good standing of the International Association of Certified Home Inspectors (InterNACHI), www.nachi.org. Member #17020330.

I will conduct a home inspection of the previously mentioned property in accordance with the InterNACHI Code of Ethics and Standards of Practice and the Home Inspection Agreement.

I am in compliance with the California Home Inspection Law.

I carry all the state-required insurance.

This report has been produced in accordance with the AGREEMENT, and is subject to the terms and conditions agreed upon therein. The report was produced exclusively for our CLIENT. Not to be used or interpreted by anyone other than our CLIENT or Representative.

1. Roof

We are not professional roofers. Feel free to hire one prior to closing.

We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the flashings, the skylights, chimneys, and roof penetrations. We are not required to inspect antennas, interiors of flues or chimneys which are not readily accessible, and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes.



It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the seller to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

Description:

Roof Covering:

Architectural

Items

1.0 Roof Covering

Inspected

The overall condition of the roof covering was good at the time of inspection.





1.1 Gutters

Inspected

1.2 Downspouts

Improvement Recommended

Some of the gutters drain near the foundation of the front porch. Recommend adding extensions to take water away from the structure.



1.3 Vents

Inspected

1.4 Flashing

Inspected

1.6 Chimney

Correction Recommended

(1) We are not certified chimney professionals. Only a level two inspection performed by a CSIA (Chimney Safety Institute of America) certified chimney sweep can determine the condition of the flue and whether the fireplace is safe to use.

We recommend a cleaning and level two inspection of the fireplaces and chimney flues before closing. Clean chimneys don't catch on fire. More information about fireplaces and chimneys can be obtained at www.csia.com.

(2) The chimney appeared to be installed correctly and functioning properly at the time of inspection there was very little creosote buildup inside of the chimney flue as well



1.7 Eaves

Inspected

1.8 Soffits

Inspected

1.9 Fascia

Inspected

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition may leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system. Please refer to the seller's disclosure in reference to the roof system, age, condition, prior problems, etc... Only the property owner would have intimate, accurate knowledge of the roof system.

2. Exterior

We are not exterior experts. Feel free to hire an exterior contractor prior to closing.

Water can be destructive and foster conditions that can be harmful to health. For this reason, the ideal property will have the ground around the foundation perimeter that slopes away from the residence about 6 inches for the first 10 feet from the foundation. And the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharged into drains or trays that carry or divert water away from the foundation. The sellers or occupants will have a more intimate knowledge of the site than we will have during our limited visit. Recommend asking the seller about water problems including, but not limited to, water puddles in the yard, gutter or downspout problems, water penetration into the lowest level of the structure, and drainage systems. Recommend closely monitoring and inspection the exterior during a heavy rainstorm to observe the way the surface water is managed. Standing puddles near the house foundation are to be avoided.



Description:

Siding Style:

Lap

Siding Material:

Cement-Fiber

Items

2.0 Wall Covering

Inspected

2.1 Flashing

Inspected

2.2 Trim

Inspected

2.3 Doors (Exterior)

Inspected

2.4 Windows (Exterior)

Inspected

2.5 GFCI Outlets

Improvement Recommended

Outlet was tapped shut.



2.6 Light Switches and Fixtures

Improvement Recommended

(1) Fixture was sealed off with a butter container and tape. Possibly to protect it from bugs while house was empty.



(2) Some of the deck lights were missing the trim pieces.



2.7 Railings / Handrails

Inspected

2.8 Deck

Improvement Recommended

There were some potential entry points for animals to get underneath the deck. Recommend having these areas sealed.



2.12 Steps / Ramps

Inspected

2.13 Walkway / Driveway

Inspected

2.14 Vegetation

Inspected

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2.15 Surface Drainage

Inspected

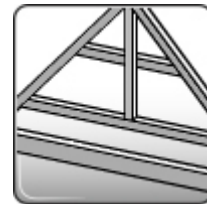
2.17 Grading of Property

Inspected

This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Structure

We are not structural engineers. Feel free to hire one prior to closing to consult with and address concerns that you have with the property, even if we do not identify any structural material defects.



We inspect the structural components including the foundation and framing by probing a representative number of structural components where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not required when probing would damage any finished surface or where no deterioration is visible.

Description:

Foundation:

Masonry block
Poured concrete
Crawlspace

Items

3.0 Foundation

Improvement Recommended

Signs of possible animal intrusion digging under front steps slab. Recommend further evaluation by a licensed pest control.



3.1 Walls (Structural)

Inspected

3.2 Floors (Structural)

Inspected

3.3 Ceilings (Structural)

Inspected

3.4 Roof (Structural)

Inspected

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The overall structure of the roof was good at the time of inspection.



3.5 Columns / Piers

Inspected

All of the columns and piers look good at time of inspection. The house was well supported, no signs of sinking or shifting.



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4. Electrical System

We are not electricians. Feel free to hire an electrician prior to closing.

If we feel that it is safe enough to open the electrical panel, we will check the interior components of service panels and sub panels, the conductors, and the over-current protection devices. Inside the house, we will check a representative number of installed lighting fixtures, switches, and receptacles. This is not an exhaustive inspection of every component and installation detail. There will be receptacles, switches and lights that we will not have time to inspect. Ask the property owner about all of the wall switches and receptacles.



Therefore, it is essential that any recommendations that we may make for correction should be completed before the close of escrow, because an electrician could reveal other problems or recommend repairs.

Description:

Main Service Amperage Rating:

200 AMP

Type of Wiring:

Romex

Wiring Material:

Copper
Aluminum

Meter Style:

Digital "smart" Meter

Items

4.0 Underground Service

Inspected

4.5 Electric Meter

Inspected

4.6 Service Entrance Conductors

Inspected

4.7 Main Service Disconnect

Inspected

4.8 Service Panel

Inspected

4.9 Circuit Breakers and Fuses

Inspected

4.10 Grounding and Bonding

Inspected

This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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5. Plumbing System

We are not professional plumbers. Feel free to hire one prior to closing.

All bathroom fixtures, including toilets, tubs, showers, and sinks are inspected. Approximately 15 minutes of water is run at each fixture. Readily visible water-supply and drain pipes are inspected. Plumbing access panels that we can find are opened, if readily accessible and available to open. We do not perform water leak tests on drain lines or shower pans. We simply look for active leaks, which is quite limited by our short time in the property.



Description:

Water Source:
Well

Water Supply Shut-Off Location:
Utility Room

Water Heater Capacity:
Tankless

Water Heater Location:
Garage

Water Heater Power Source:
Electric

Items

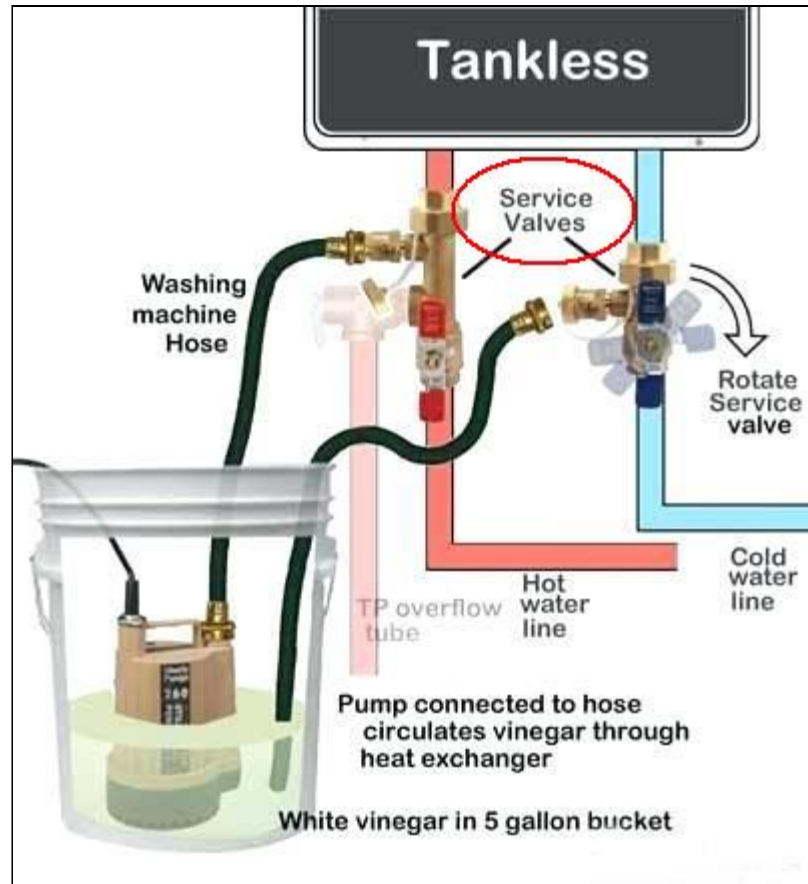
5.0 Main Water Shut-off

Inspected

5.4 Water Heating System

Improvement Recommended

Tankless water heaters will need occasional flushing to remove build up on the inside of the pipes. Typical installation of tankless water heaters should include valves that aid in flushing the unit.



5.5 Plumbing Drain, Waste and Vent Systems

Improvement Recommended

There was evidence that wet wipes were possibly used and flushed into the septic tank. Even though advertising claims certain brands of wet wipes will break down in a septic tank, this is generally not the situation and they can cause a blockage or buildup in the tank. Recommend further evaluation by a licensed septic tank professional.

5.7 Plumbing Water Supply, Distribution System and Fixtures

Inspected

This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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6. Heating / Cooling

We are not HVAC professionals. Feel free to hire one prior to closing.



This inspection of the heating and/or cooling system is a visual inspection using only the normal operating controls for the system. The inspection of the heating and/or cooling system is general and not technically exhaustive. We are not required to inspect the parts that are not readily accessible and a detailed evaluation of the interior components is beyond the scope of a home inspection. We do not inspect the humidifier or dehumidifier, the electronic air filter and determine heating supply adequacy or distribution balance. We do not operate the heating system when the air temperature is too hot, to prevent damaging the unit. We do not operate the cooling system when the outside temperature is too cool, to prevent damaging the unit.

It is essential that any recommendation that we make for service, correction, or repair be scheduled prior to closing or purchasing the property, because the hired-professional could reveal additional defects or recommend further repairs that could affect evaluation of the property.

Note: Health is a deeply personal responsibility. You should have the air quality tested and the duct work or baseboards cleaned as a prudent investment in environmental hygiene, especially if any family members suffer from allergies or asthma.

Description:

Location of Heating

Thermostat:

In the living room

Energy Source:

Electric
Wood

Heating Method:

Heat Pump Forced Air (also provides cool air)
Wood stove

Location of Cooling

Thermostat:

In the living room

Cooling Equipment Type:

Heat Pump Forced Air (also provides warm air)

Items

6.0 Heating Equipment

[Inspected](#)

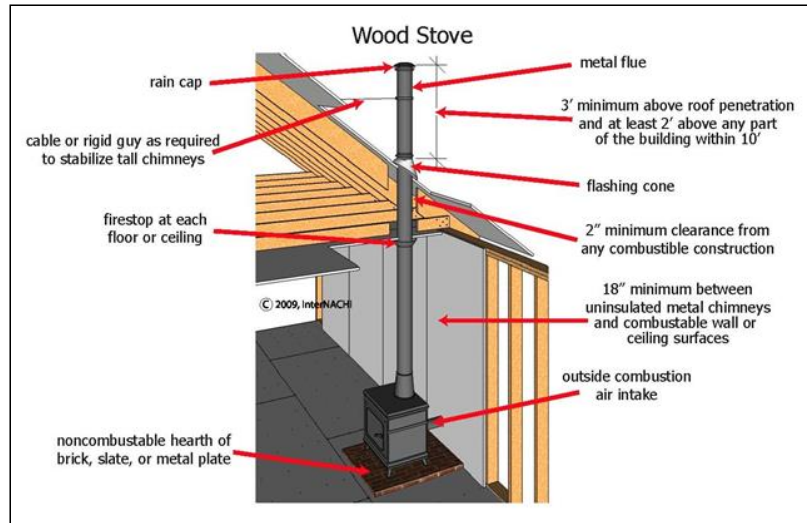
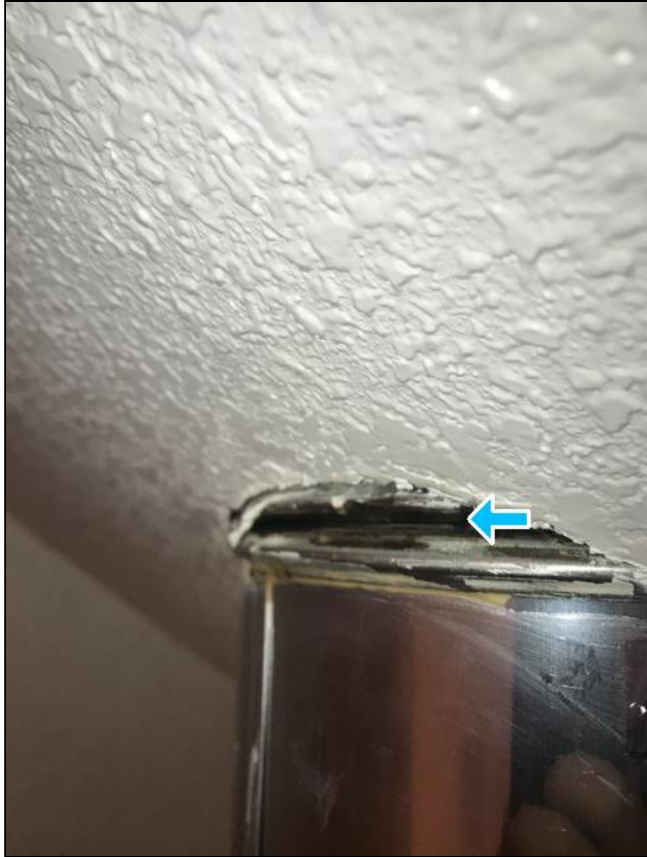
6.1 Cooling Equipment

[Inspected](#)

6.2 Woodstove

[Correction Recommended](#)

(1) Soot was visible on the outside of the stove pipe connection. There should also be a fire stop at each point the stove pipe passes through a wall or ceiling with a minimum of 2 inch clearance around the pipe from combustable surfaces. Recommend further evaluation by a licensed professional.



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(2) Stove pipe appeared to be closer than the minimum clearance requirements to combustibles surfaces. Recommend further evaluation by a licensed professional.



This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Insulation / Ventilation



Description:

Attic Insulation:

Blown

Floor System Insulation:

Unfaced

Approximate Depth of Attic Insulation:

Approx. 15"

Access Location to Crawlspace:

Right Side of the House
Left Side of the House

Items

7.0 Insulation in Attic

[Monitoring Recommended](#)

(1) There was evidence of rodents in the attic space. Recommend further evaluation by a licensed pest inspector.



(2) The attic space is well ventilated and well insulated.



7.1 Ventilation in Attic

Inspected

7.2 Ventilation Fans in Attic

Inspected

7.3 Crawlspace

Correction Recommended

There is moisture buildup in the crawlspace due to surface drainage.



7.5 Insulation in Crawlspace

Inspected

7.6 Ventilation in Crawlspace

Inspected

This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Kitchen

We check some of the appliances only as a courtesy to you. Appliances are not within the scope of a home inspection. We are not required to inspect the kitchen appliances. We do not evaluate them for their performance nor for the accuracy of their settings or cycles. Appliances break. We assume no responsibility for future problems with the appliances.



If they are older than 10 years, they may well exhibit decreased efficiency. Also, many older ovens are not secured to the wall to prevent tipping. Be sure to check the appliance, especially if children are in the house. We recommend installing a minimum 5 pound ABC-type fire extinguisher mounted on the wall inside the kitchen area.

Description:

Stove Top:

Electric

Items

8.0 Water Supply - Fixtures / Faucets

Inspected

8.1 Sink Drainage

Inspected

8.2 GFCI Outlets

Inspected

8.3 Light Switches and Fixtures

Inspected

8.4 Cabinets / Counter Tops

Inspected

8.6 Venting System

Monitoring Recommended

Microwave vent was not connected to outside vent. Not certain why the installers choose to bypass the outside vent option.

**8.7 Dishwasher**

Inspected

8.8 Range / Oven

Inspected

8.9 Range Hood

Inspected

8.10 Trash Compactor

Inspected

8.11 Garbage Disposal

Inspected

8.12 Microwave (Built-In)

Inspected

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9. Upstairs Bathroom

We are not plumbers. Feel free to hire a plumber prior to closing.

All bathroom fixtures, including toilets, tubs, showers, and sinks are inspected. Approximately 15 minutes of water is run at each fixture. Readily visible water-supply and drain pipes are inspected. Plumbing access panels are opened, if readily accessible and available to open. Normal foot pressure is applied around the base of each toilet, tub, and shower to check for deteriorated flooring. Normal hand pressure is applied carefully to the walls of each shower to check for deterioration. Re-grouting and sealant around the tub shower and fixtures should be considered routine maintenance. We do not perform water leak tests on drain lines or shower pans. We simply look for active leaks, which is quite limited by our short time in the property.



Items

9.0 Water Supply - Fixtures / Faucets

Inspected

9.1 Sink Drainage

Inspected

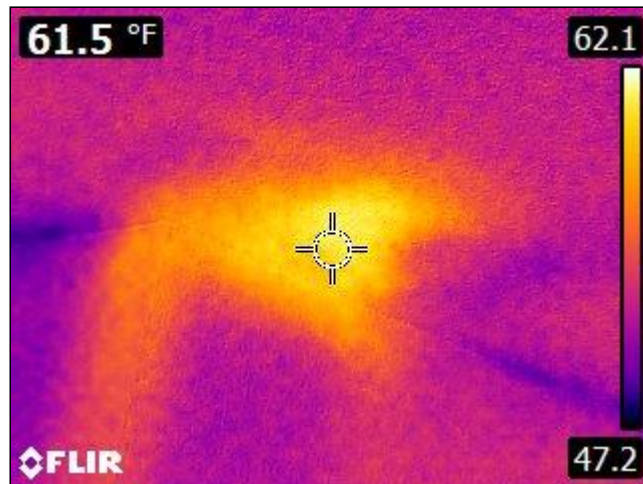
9.2 Toilet

Inspected

9.3 Tub / Shower

Correction Recommended

There was a leak detected under the upstairs bathroom with an infrared camera and confirmed with a moisture meter. Because of the cooler temperatures of the walls, we ran hot water which can be seen in the infrared picture. Recommend correction by a licensed plumber.



9.4 GFCI Outlets

Inspected

9.5 Light Switches and Fixtures

Inspected

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9.6 Cabinets / Counter Tops

Inspected

9.7 Windows

Inspected

9.8 Venting System

Inspected

This inspection is not a guarantee or warranty of the system. Things break. We do not accept any responsibility for any problems that may happen in the future. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Master Bathroom

We are not plumbers. Feel free to hire a plumber prior to closing.

All bathroom fixtures, including toilets, tubs, showers, and sinks are inspected. Approximately 15 minutes of water is run at each fixture. Readily visible water-supply and drain pipes are inspected. Plumbing access panels are opened, if readily accessible and available to open. Normal foot pressure is applied around the base of each toilet, tub, and shower to check for deteriorated flooring. Normal hand pressure is applied carefully to the walls of each shower to check for deterioration. Re-grouting and sealant around the tub shower and fixtures should be considered routine maintenance. We do not perform water leak tests on drain lines or shower pans. We simply look for active leaks, which is quite limited by our short time in the property.



Items

10.0 Water Supply - Fixtures / Faucets

Inspected

10.1 Sink Drainage

Inspected

10.2 Toilet

Inspected

10.3 Tub / Shower

Inspected

10.4 GFCI Outlets

Inspected

10.5 Light Switches and Fixtures

Inspected

10.6 Cabinets / Counter Tops

Inspected

10.7 Windows

Not Present

10.8 Venting System

Inspected

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11. Jack and Jill Bathroom

Items

11.0 Water Supply - Fixtures / Faucets

Inspected

11.1 Sink Drainage

Inspected

11.2 Toilet

Inspected

11.3 Tub / Shower

Inspected

11.4 GFCI Outlets

Inspected

11.5 Light Switches and Fixtures

Inspected

11.6 Cabinets / Counter Tops

Inspected

11.7 Windows

Not Present

11.8 Venting System

Improvement Recommended

Vent light fixture was not mounted flush to the ceiling.



14. Interiors

We only check a representative number of doors and windows. We are not required to inspect the paint, wallpaper, the carpeting, the window treatments and screens. We do not move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are usually a consequence of movement, such as wood shrinkage and common settling, and will often reappear. We do not report on odors from pets and cigarette smoke.

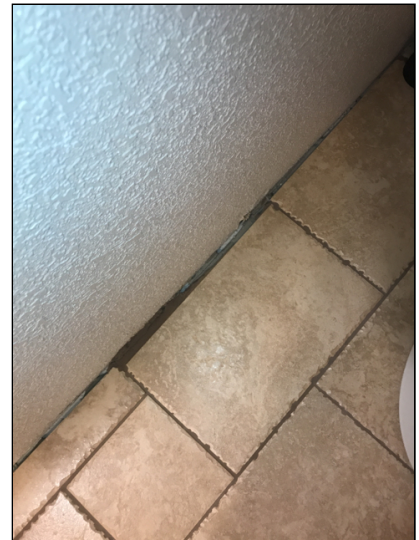


Items

14.0 Floors

Monitoring Recommended

Upstairs bathroom and master bathroom appeared to have new tile installed and lacked baseboards in some sections.



14.1 Ceilings

Inspected

14.2 Walls

Inspected

14.3 Steps / Stairways

Inspected

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14.4 Railings / Balconies

[Correction Recommended](#)

Railing was an inconsistent height. It was too low at the top of the stairs. Recommend correction by a licensed contractor.

**14.5 Doors**

[Inspected](#)

14.6 Windows

[Inspected](#)

14.7 Light Switches and Fixtures

[Inspected](#)

14.8 Outlets

[Inspected](#)

14.9 Smoke Detectors

[Inspected](#)

The smoke detector should be tested at common hallway to bedrooms upon moving in to home.

14.10 Carbon Monoxide Detectors

[Correction Recommended](#)

Recommend installing carbon monoxide detectors on both floors because of the wood stove.

15. Laundry

We do not test clothes dryers, nor washing machines and their connections and drainpipes. We can operate them, but only as a courtesy. If a water catch pan is installed, it is not possible for us to check its performance. We recommend turning off the water supplied to the washer after every load. We recommend having a professional inspect and clean the dryer exhaust pipe twice every year.



Description:

Dryer:
Electric

Items

15.0 Water Supply Hoses

Inspected

15.1 Washer Drain Pipe

Inspected

15.2 Electric Receptacles

Inspected

15.3 Water Leak Catch Pan

Not Present

15.4 Dryer Vent

Improvement Recommended

Vent cover was brittle and cracking. Recommend having it replaced.



15.5 220 Volt Outlet

Inspected

15.6 Venting System

Not Present

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16. Garage

We do not evaluate or measure the fire-ratings of the drywall / plaster in the garage or the rating of the door between the garage and the house. Different townships require different ratings. Ideally, there should be a 5/8-inch Type X drywall or equivalent on the walls and ceilings that separate the garage from habitable rooms. And a 20-minute fire-rated door separating the house and garage.

We check for breaches of the firewall. We do not pressure test the garage door openers.



Description:

Garage Door Type:

One automatic

Items

16.0 Garage Door

Inspected

16.1 Garage Door Operator

Inspected

16.2 Ceiling

Inspected

16.3 Walls (including Firewall Separation)

Inspected

16.4 Floor

Inspected

16.5 Occupant Door (from garage to inside of home)

Correction Recommended

The self closing hinges did not function properly during the inspection. Recommend having them replaced.

16.6 Windows

Inspected

16.7 GFCI Outlets

Inspected

In the short time of this inspection, it is not possible to determine prior or future ground water penetration problems. Conditions that affect the structure's dryness (weather, wind, temperature, etc...) will vary greatly during the course of a year. We recommend referring to the seller's disclosure document to determine if there has ever been any water leakage, accumulation, or dampness.

**INVOICE**

Next Level Home Inspections
 1715 Lichens Rd.
 Montague, CA 96064
 530.322.9972
 Inspected By: Don Allen / AJ Cross

Inspection Date: 2/25/2019
Report ID: 10430 Little Bogus

Customer Info:	Inspection Property:
Jendy Lea	10430 Little Bogus Creek Montague CA 96064
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
2,501 - 3,000 sqf.	495.00	1	495.00
			Tax \$0.00
			Total Price \$495.00

Payment Method: Credit Card
Payment Status: Paid
Note: